

## CHAPTER 6 SHOPPING & COMMERCIAL

- 6.1** Shopping is an essential part of life for most people, serving both their everyday needs, and providing more specialist goods. It also has important links to tourism and leisure activities and provides full and part time jobs in the service sector.

### NATIONAL CONTEXT

- 6.2** Recently the concept of sustainable development has emphasised the importance of the quality urban environments and the implications of associated transport options. NPPG 8 “Town Centres and Retailing”, in addressing the UK Sustainable Development Strategy, has emphasised that future development patterns must be shaped in a way that minimises energy consumed. As part of the commitment to reducing carbon dioxide and other emissions the guidance encourages major developments in locations which minimise the length and number of trips. New retail development should therefore be sited where there is a choice of transport and should not depend solely on access by car. Locating it in or next to existing town centres will ensure that access is available to a range of shopping facilities, for those unable or unwilling to use a car. Furthermore car use may be minimised because of the proximity of other travel generating activities, the availability of bus or rail (in larger towns or cities), and ease of walking and cycle access.
- 6.3** The guidance also states that one of the key functions of the planning system is to improve environmental quality by promoting good urban and building design. The UK Sustainable Development Strategy indicates that well designed shopping developments and public spaces have an important role in maintaining and improving the environmental quality and attractiveness of existing centres. Other related matters also have a role in improving the environmental quality of existing centres. Improvements to shopfront design, signage, and streetscape, including the quality, design, co-ordination and maintenance of street furniture, as well as the nature of paving materials, can be relevant and important.

### STRATEGIC CONTEXT

- 6.4** The Plan area does not contain any shopping centre within the Strathclyde Structure Plan’s shopping hierarchy. Shopping provision is largely confined to that providing local everyday needs and there are no sizeable retail units in any of the settlements. The area is within easy access of Glasgow City centre, has direct access along the A80 to Cumbernauld and is also near Kirkintilloch and Bishopbriggs.
- 6.5** The Strathclyde Structure Plan stresses that existing town centres within the established hierarchy should normally be the first choice for new retailing developments. Of major significance to retail planning at a strategic level has been the demand by retailers for out of centre locations to meet the growing demand for shopping by car and therefore the maintenance and enhancement of existing town centres is a principal concern of the Structure Plan. This policy approach is continued in the Glasgow and Clyde Valley Structure Plan. It is important that the Plan recognises that out of centre locations should not be supported in the Plan area in order to adhere to the policy of support for existing town centres, and therefore, a more equal opportunity for all to access the quality of shopping offered in these centres by means of transport other than the private car.

### LOCAL CONTEXT

#### Existing Local Shopping Facilities

- 6.6** Chryston and Muirhead together have the most clearly defined shopping area with a range of outlets to cover the basic everyday shopping needs of the residents. Redevelopment, resulting in the provision of modern shopping units with rear servicing, has enhanced the profile of this small but relatively prosperous centre. Policies must ensure that the vitality and environmental quality of this local centre is maintained and enhanced.
- 6.7** Moodiesburn has two neighbourhood shopping areas at Glenmanor Avenue and at Larchfield Road/Blackwoods Crescent.

- 6.8** At present Stepps has a relatively limited range of shops, including a discount food store that is removed from the main group of shops on Cumbernauld Road. The proposed development of the former colliery site at Cardowan and masterplan for the area around Frankfield Loch should result in a greater demand for local shopping facilities. Discussions have highlighted the possibility of a more centrally focussed shopping provision together with housing and a new primary school on land currently in mixed ownership in the Frankfield Loch area. Any new local facility should offer less than 2000 square metres of convenience shopping floorspace, as any larger development would require a full and clear justification, based on projected levels of available expenditure and taking account of the impact on existing centres (see Policy SC2 ).
- 6.9** At present shopping provision in Gartcosh is limited to the local newsagents/general store and the local post office. When the development of the former steel mill site proceeds and the designated housing sites are developed, there may be a requirement for additional shopping and commercial facilities.

## **ISSUES**

- 6.10** The main issues in respect to shopping provision in the Plan area are as follows:
- the attractiveness of the existing local and neighbourhood centres in terms of choice and environmental quality
  - the accessibility of local and neighbourhood centres to all sections of the local community for everyday shopping needs
  - the protection of existing centres from developments that would threaten their vitality and viability
  - the control of nuisance/bad neighbour developments where they would threaten the amenity of surrounding uses

## **POLICY FRAMEWORK**

- 6.11** The Local Plan will attempt through its policies and proposals to maintain and improve where possible the level of provision and the physical environment of local shopping facilities. The Council will not favour any proposal that may result in the loss of existing retail floor space which could have a negative effect on the retail performance of the local or neighbourhood shopping area and will insist that attempts are made to market the premises for retail use before any other use is considered. Therefore in order to sustain existing local shops the Council will discourage any development that may threaten their viability and vitality, and will support improvements to local shopping (refer to policies SC1 and SC2).

### **SC1: PROTECT AND ENHANCE EXISTING LOCAL SHOPPING AREAS**

**The Council will seek to maintain existing local centres by discouraging developments that could threaten their viability and vitality and will oppose any shopping developments including out of centre and greenfield locations, which could have a detrimental effect on established shopping patterns in the area.**

- 6.12** All applications for retail development over 2,500 square metres gross require to be supported by information provided by the developer which would enable the authority to address the issues set out in Paragraph 45 of the National Planning Policy Guideline 8 ( revised 1998 ). The Council may also apply this to smaller scale proposals where it considers the proposals could have a potentially significant impact upon town centres, local village or secondary commercial areas, either individually or cumulatively. Large residential estates normally require a level of local shopping to serve their everyday needs. This provision can vary from a single corner shop to a small group of shops and should not contain retail floorspace of a type which could be a threat to local centres or have an adverse affect on the residential amenity of the area through the generation of vehicular and pedestrian activity. Where specific design or site development briefs have been prepared by the Council for a particular site, development should be in accordance with their provisions

#### **SC2: IMPROVE SHOPPING FACILITIES**

**A. There will be a presumption in favour of proposals for improvements to local shopping. There will be a presumption against proposals which have an adverse impact on the residential environment and a presumption against proposals which involve the loss of individual shops outwith the local centres. In determining applications for Class 1 retail developments as defined by the Town and Country Planning (Use Classes)(Scotland) Order 1997, the council will consider amongst other things, the following:-**

- 1. whether the proposal could be supported by the appropriate catchment population.**
- 2. the effect on the vitality and viability of existing local shopping.**
- 3. the availability of suitable alternative sites in or around local shopping areas.**
- 4. the extent to which proposals would be accessible to public transport and their effects on travel patterns by motor car.**
- 5. the suitability and impact of the proposal on the character and amenity of adjoining properties and the surrounding environment.**
- 6. detailed design elements such as building height, materials, positioning, access for pedestrians and disabled people, and**
- 7. the provisions made for vehicular access, parking and the proposal's impact on pedestrian safety and traffic circulation.**

**B. The Council will support the following proposal:**

- 1. Stepps - Provision of new shopping facilities (as part of a masterplan for Frankfield Loch area and subject to an upper limit of 2000 sq. metres of shopping floorspace).**

- 6.13** Certain types of use are not considered to be appropriate where, due to proximity to housing there is potential for nuisance. Particular attention will be given to proposals which involve potential nuisance, such as hot food shops which should not be located where they could cause problems through the generation of noise and odours (refer to Policy SC3 below).

#### **SC3: ASSESSING APPLICATIONS FOR BAD NEIGHBOUR DEVELOPMENT**

**There will be a presumption against hot - food shops, amusement arcades and public houses located directly below or in close proximity to residential properties or in such other locations where nuisance conditions are likely to occur.**

- 6.14** Shops which remain vacant for a length of time can have a detrimental affect on the viability and vitality of small centres. Whilst retention of retail use is preferable it is accepted that there may be limited scope for changes of use. These will be assessed against the criteria in the following policy.

#### **SC4: ASSESSING APPLICATIONS FOR NEW NON-RETAIL DEVELOPMENT IN SHOPPING CENTRES**

**There will be a presumption against the loss of shops in local retail centres. The Council accepts however that there may be limited scope for changes of use from retail to other uses compatible with a retail environment, such as Classes 2 (financial , professional and other services)and 3 (food and drink). These will have to be justified against the following:**

- 1. the effect the proposals will have on the viability and vitality of the local shopping area**
- 2. the compatibility with surrounding land uses especially residential**
- 3. the avoidance of non-retail frontages, which could be detrimental to the retail performance and character of the core shopping area**
- 4. whether attempts have been made to market the premises for Class 1 use and**
- 5. other Plan policies**

## **THE DESIGN OF SHOPPING FACILITIES**

- 6.15** Scottish Office advice in PAN 35 “Town Centre Improvement” emphasised the contrast between shop interiors where regular investment occurs and the external environment where limited investment tends to result in an unacceptable shopping environment. As competition between retailers increases so does the pressure to use designs that will surpass their competitors and provide an effective means of displaying goods. Modern materials, while offering retailers a greater range of styles and finishes can introduce inappropriate designs in more traditional areas, reducing the visual quality of the local shopping environment.
- 6.16** Advertising and shop window security can have a detrimental effect on the visual amenity of local commercial centres, especially in the more traditional areas, and will be subject to positive design guidance as referred to in policies ENV 21, 26 and 28 of the Built Environment Chapter and Design Guidance included as Appendix 1 to this Plan.

## CHAPTER 7 LEISURE, EDUCATION & UTILITIES

- 7.1** The Council recognises the importance of both passive and active recreation for the residents of, and visitors to the Plan area. The Plan promotes a positive commitment to protecting existing facilities, making appropriate improvements and taking advantage of opportunities for tourist related developments. Due regard must be given to sustainability and accessibility in all aspects of leisure, community facilities and education.
- 7.2** As a unitary authority the Council is now a key agency in the provision of community facilities. This includes the provision of schools, social services and facilities such as libraries, community halls and cemeteries. The provision of a range of community facilities has land use implications and various needs have to be identified which will be provided by the Council itself, if finance is available, or by other organisations. This chapter deals with leisure and recreation facilities, community facilities, education and health, and utilities including gas, water, electricity, drainage and telecommunications.

### NATIONAL AND STRATEGIC CONTEXT

- 7.3** The nature of many of the topic areas in this chapter is such that any national guidance does not relate to land use planning matters. An exception is leisure and recreation where national guidance is contained in The Scottish Office NPPG 11 "Sport, Physical Recreation and Open Space". The starting premise is that sport and physical recreation are important components of civilised lives and have valuable social, economic and educational roles. Here the importance of Local Plans is recognised. Through the Local Plan the recreational needs of all sections of the local population can be promoted whilst the need to protect and where appropriate enhance open space, public parks, playing fields, land of recreational, amenity or wildlife value can be pursued.
- 7.4** Relevant Structure Plan Policies promote the sustainable use of natural resources for recreation, the creation of recreation opportunities in the conurbation urban fringe, provision for appropriate informal countryside recreation, the development and protection of local footpath networks and the upgrading and refurbishment of existing sport and recreation facilities.
- 7.5** In the specialist area of telecommunications, national guidance is detailed in the final section of this chapter.

### LOCAL CONTEXT

- 7.6** The following Council owned or maintained leisure and recreation facilities are located in the Plan area:

**Table 7.1 Leisure and Recreational Facilities in the Plan Area**

Facility	Location
Public Parks	Stepps Public Park; Moor Park, Muirhead
Sports Centre	Ian Nicolson Recreation Centre, Chryston/Moodiesburn
Football Pitches	Auchinloch; Cardowan; Chapman; Gartferry; Lanrig; Moodiesburn; Muirhead; Stepps
Cricket Wicket	Stepps
Hockey Pitch	Stepps
Bowling Green	Auchinloch
Kickabout Areas	Blenheim Avenue, Stepps; Dunalistair Drive, Stepps; Auchinloch Recreation Ground; Craigmuir, Cardowan; Gartferry Road, Moodiesburn
Play Areas	Auchinglen; Auchinloch (2); Cardowan (2); Chryston (2); Crowwood; Gartcosh (3); Millerston; Mollinsburn; Moodiesburn (3); Mount Ellen; Muirhead; Stepps; Steppshill
Rights of Way	19 identified Rights of Way in the Chryston area

Source: North Lanarkshire Council Records

- 7.7** It is recognised that there are ever increasing expectations concerning leisure and recreation. Rights of way are for instance not only a means of getting from place to place but are an important leisure facility to be enjoyed and protected. The Council has responsibility for ensuring that Rights of Way are kept free from obstruction. It is important to ensure that new developments do not interfere with Rights of Way. The formation of suitable alternative Rights of Way routes may be acceptable in certain circumstances.
- 7.8** The development, maintenance and improvement of linear recreational routes such as long distance walkways is important to achieve a cross boundary network of routes that provide a range of access and recreational opportunities for various users. The Council supports the completion of the Railway Walkway linking the West Highland Way to Summerlee Heritage Park in Coatbridge (via Moodiesburn Glen). Funding from Scottish Enterprise Lanarkshire, Scottish Natural Heritage and North Lanarkshire Council is already in place and the Council will pursue the future completion of the project with its partner agencies.
- 7.9** Cycling and horse-riding are increasingly important leisure activities allowing enjoyment of the countryside and local features. Cycleways and bridleways will be promoted in conjunction with bodies such as Sustrans and the Kelvin Valley Countryside Project.
- 7.10** The Council has approved a policy entitled the “Developers Guide to Open Space” which sets standards for the provision of play space and garden ground in new housing developments. This is included as Appendix 3 to the Plan.

## **ISSUES**

- 7.11** The main issues to be addressed by the Plan are as follows:
- the provision of a socially inclusive range of leisure opportunities
  - the maintenance and improvement of linear recreational routes providing access for various users
  - the protection of existing recreational routes from development and the promotion of new cycleways and bridleways
  - the assurance that recreational facilities do not create unnecessary environmental conflicts
  - the protection of sports fields and other recreational open space from development
  - a requirement that developers address the issue of open space/children’s play areas in their development proposals
- 7.12** The Local Plan has to take into consideration the following issues in respect of community facilities and public utilities:
- the maintenance and improvements of existing facilities guarding against the loss of these where there is not an acceptable alternative
  - equal access to existing and new facilities for all sections of the community
  - the provision of community, educational facilities and public utilities to meet demand generated by proposed developments and a changing demographic structure
- 7.13** The Council is committed to the consolidation and improvement of existing settlements and will endeavour to ensure that adequate public utilities, social, educational, cultural and health care facilities are provided and made readily available for all sectors of the community.

## **POLICY FRAMEWORK**

- 7.14** There is increasing demand for countryside recreation which can be seen as an appropriate form of diversification for farmers. It is important to ensure that recreation and visitor attractions do not create unnecessary environmental conflicts.
- 7.15** It is important to guard against any pressures to build on sports fields and other recreational open space. Development pressure may arise from attractive land values (if building is allowed) and the ease of developing such sites in comparison with more difficult brownfield sites. Policy LR1 below seeks to protect such areas from inappropriate development.

**LR1: PROTECTION OF EXISTING LEISURE & RECREATIONAL FACILITIES**

**There will be a presumption against development adversely affecting existing open spaces especially sports facilities, public parks, playing fields and land of recreational amenity or wildlife value within and adjacent to built up areas, except where the development acceptably provides for outdoor recreation, nature conservation or landscape protection or enhancement.**

- 7.16** In recognition of the Council's responsibility for ensuring that rights of way are kept free from obstruction, the following policy is appropriate.

**LR2: PROTECTION OF RIGHTS OF WAY**

**The Council will seek to ensure that all existing rights of way are kept free from obstruction and, where routes are affected by new development, will ensure that any established right of way is, if necessary, diverted to a suitable alternative route**

- 7.17** The provision of a range of recreational facilities has land use implications and various needs have to be assessed. Facilities will be provided by the Council itself, if finance is available, or by other organisations (refer to Policy LR3 below).

**LR3: PROVISION OF NEW LEISURE & RECREATIONAL FACILITIES**

- a) **The Council will continually assess local needs and demands for leisure and recreation and will support the provision of a new and improved range of facilities suitable for the needs of all sections of the local population. This includes the Railway Walkway linking the West Highland Way to Summerlee, Coatbridge (via Moodiesburn Glen).**
- b) **The Council will generally support leisure and recreational proposals which take advantage of features of landscape importance, nature conservation value or historical significance. Proposals will be assessed in the context of environmental protection and development control policies of the Council (see also Environment Policies).**

- 7.18** Opportunities for furthering the provision of children's play facilities may arise from new residential development. The Council has an approved Policy "Developer's Guide to Open Space", which sets out required standards of provision (see Appendix 2).

**LR4: CHILDREN'S PLAY AREAS**

**The Council will require that all new housing developments have adequate provision for open space and children's play areas in accordance with the Council's approved policy "Developer's Guide to Open Space"**

**COMMUNITY FACILITIES**

- 7.19** The following key Council run community facilities are located within the Plan area:

**Table 7.2 Community Facilities in the Plan Area**

<b>Facility</b>	<b>Location</b>
Libraries	Chryston; Moodiesburn; Stepps
Community Centres	Auchengeich Hall, Chryston; Auchinloch Hall; Coshneuk Hall, Millerston; Gartcosh Hall; Mount Ellen Hall; Muirhead Hall; Stepps Hall
Elderly Persons Shelter	Muirhead
Cemetery	Bedlay Cemetery

Source: North Lanarkshire Council Records

**7.20** The Council through its responsibility for many community services needs to maintain and, where appropriate, improve facilities. It is envisaged that the needs of the Plan area will largely be met by the upgrading of existing facilities. In light of various financial restrictions the Council will encourage the voluntary and commercial sector to provide services which meet the needs of the community. The Council will therefore look favourably upon the provision of these services where they make a positive contribution towards local needs (refer to Policy CF1 below).

**CF1: COMMUNITY FACILITIES**

**The Council will pursue the improvement of community facilities subject to needs, demands and shortfalls. The Council will encourage the co-operation of other public or private sector agencies and community led initiatives in the improvement and future development of such facilities. These should be well located in relation to existing associated services and facilities.**

**7.21** It is likely that from time to time part or all of a community facility may become surplus to requirements and a non-community use will be proposed. The Council will need to be satisfied that there is no longer a need for this facility or that there is an acceptable alternative elsewhere. There is a need to guard against the loss of facilities where there is no suitable alternative (see Policy CF2 below).

**CF2: PROTECTION OF COMMUNITY FACILITIES**

**There will be a presumption against proposals involving the loss of community facilities unless the Council is satisfied that there is no longer a need for them or that an acceptable alternative facility is available.**

**EDUCATION**

**7.22** The following primary and secondary schools are within the Plan area:

**Table 7.3 Schools in the Plan Area**

<b>Location</b>	<b>Schools</b>
Auchinloch	Auchinloch Primary
Cardowan	St. Joseph's Primary
Chryston	Chryston Primary; Chryston High
Gartcosh	Gartcosh Primary
Moodiesburn	Glenmanor Primary; St. Michael's Primary
Muirhead	St. Barbara's Primary
Stepps	Stepps Primary

Source: North Lanarkshire Council Records

**7.23** Despite general reductions in school rolls there are certain schools in the Local Plan Area where capacity has been reached. The proposals for residential development in the Local Plan will worsen existing problems, particularly in Stepps where Stepps Primary and St. Joseph's Primary cannot cope with the additional children that the proposed housing sites may produce. To address this a rezoning exercise is underway.

**7.24** Additional school provision will be required in the longer term. The current school site of Stepps Primary is very restricted and it is unlikely that an extension to the existing structure could be considered. St. Joseph's Primary is the more modern building and there is sufficient land to accommodate an extension. The Plan therefore recommends that an additional site in the vicinity of Frankfield Loch on land owned by North Lanarkshire Council is reserved for the construction of a replacement non-denominational primary school. The Proposals Map also shows a proposed extension at St. Joseph's Primary School.

- 7.25** The Council will seek a financial contribution from prospective developers to assist with the financial burden which will be placed on the Council for primary school provision as a result of future housing developments. Policy EDUC1 below addresses this matter.

**EDUC 1: FINANCIAL CONTRIBUTIONS TOWARDS NEW SCHOOL PROVISION**

**The Council will seek a financial contribution of an appropriate level from housing developers in the Stepps area, towards the provision of new primary school accommodation.**

- 7.26** The Council is keen to promote the full and integrated use of schools within communities. Many of the schools and halls in the Plan area are used for meetings and leisure activities, and also have a wide range of facilities which in some instances may be under utilised. It is considered that these resources should be used as effectively as possible in order to benefit the community as a whole. The Council is therefore keen to promote the maximum use of facilities for community purposes.

**EDUC 2: COMMUNITY USE OF EDUCATIONAL FACILITIES**

**The Council will support the use of school playing fields and recreational facilities by the wider community.**

**HEALTH**

- 7.27** There is a need to ensure that health care facilities meet the requirements of local needs. The Council will encourage the safeguarding and improvement of health care facilities. The Council recognises that Care in the Community policies have considerable benefits but proposals often raise concerns for prospective neighbours. Proposals will be assessed in the context of normal planning criteria although it is anticipated that well run facilities will contribute to the vitality of local areas.

**CF3: IMPROVEMENT OF HEALTH FACILITIES**

**The Council will support proposals which serve to improve local health or care provision where they have the endorsement of the Health Authorities and they conform to all other Plan policies.**

**UTILITIES**

- 7.28** The Council is not directly responsible for the range of utilities (gas, water electricity, drainage and telecommunications) which are vital to the maintenance of living standards. Financial arrangements for the provision of utilities are therefore a matter between the developer and the utility concerned. Where new developments place an undue burden on existing facilities which are the responsibility of the Council contributions toward the costs of provision will be sought from the developer. A policy to this effect is included in the Education section above. Contributions to necessary improvements to transportation infrastructure will be sought under powers derived from the Roads (Scotland) Acts.
- 7.29** Industrial regeneration of the Gartcosh Steelworks site will require substantial improvements to the local infrastructure. It is anticipated that water, sewerage, services etc. will need upgrading as part of an improvement package to be jointly funded by the European Regional Development Fund, North Lanarkshire Council, Scottish Enterprise Lanarkshire and private finance. Policy UT1 below addresses this matter.

**UT1: SERVICING INDUSTRIAL SITES**

**The Council will support improvement to water and sewage services necessary for industrial development at Gartcosh or any other appropriate industrial sites**

- 7.30** There is a need to minimise safety risks in relation to pipelines. In order to ensure that the number of people exposed to the risks from pipelines is not significantly increased, and that the operational safety of a pipeline is not adversely affected, both the Health and Safety Executive and British Gas

will be consulted on any planning applications within the safeguarding zones of the pipeline. Major gas and water mains pass through the Plan Area. A 1.37m diameter water main runs between Balmore and Glenhove and a major distributor gas main runs close to Mollinsburn. Land adjacent to the pipelines will be subject to development restrictions imposed by the water and gas authorities (refer to Policy UT2 below).

**UT2: PIPELINES.**

**The Council will consult with the Health and Safety Executive, British Gas and West of Scotland Water as appropriate with regard to any development proposal within the safeguarding zone of the their pipelines.**

- 7.31** In accordance with the provisions of Circular 25/85 “Telecommunications Development” there will be a presumption in favour of development required in connection with telecommunications, whilst at the same time trying to minimise their visual impact. Paragraph 2.75 and Policy ENV4 of the Environment Chapter and Policy UT3 below address this issue. In a circular issued in December 1998 the Scottish Office acknowledged that “ the Courts have held that any genuine public perception of danger is a valid planning consideration, although the weight to be given to this will be a matter for the body determining the application.” The Council accepts that this is correct but does not sit comfortably with the statement elsewhere in the circular that “ other than in the most exceptional circumstances there is no reason for planning authorities to take such issues ( i.e. health and safety ) into account.” This apparent inconsistency can only be resolved by the publication of guidance by the Scottish Executive and it is understood that such guidance will be issued later in the year.

**UT3: TELECOMMUNICATIONS**

**Subject to the provisions of Policy ENV4, applications for the siting of telecommunications apparatus will be considered in relation to:**

- 1. The availability of alternative sites;**
- 2. The possibility of sharing existing facilities;**
- 3. In the case of radio masts, the reasonable possibility of erecting antennae on an existing structure;**
- 4. The visual impact of the proposal.**

**Proposals for telecommunications development will be rigorously scrutinised particularly in areas of the greenbelt.**

## APPENDIX 1 DESIGN GUIDANCE 1: GUIDELINES FOR NEW DEVELOPMENT

### INTRODUCTION

The following principles and design standards shall be adopted in all new development, to secure a high quality built environment and ensure good inter-relationship between developments.

### STANDARDS TO BE MET

#### Residential Layout

The principal aim of establishing this guidance is to ensure a successful residential layout, i.e. a living environment that is functional, efficient, safe and secure, aesthetically pleasing and which will stand the test of time. The guidance is not intended to stifle architectural freedom, but to set out minimum standards.

The first step in assessing a site, and before considering the type of development, is to establish the constraints on the site. The layout of new development should protect amongst other things:-

- local landscape character
- the amenity of neighbouring buildings
- attractive public views
- character of urban sites
- nature conservation designations
- built heritage

All of these factors will have an important influence on the design of the layout and particularly the density of development, which can be achieved.

#### Street Containment

New development should contribute to the cohesion of street frontages and containment, particularly along main roads and on streets and areas that have a defined building style or character.

#### Building Line

The preservation of existing building lines will be encouraged. Where appropriate, any deviation from the building line will require to be justified. In such cases, walls or trees etc. may be required to reflect the existing building line in order to maintain the sense of continuity and enclosure.

#### Building Materials

New development should normally reflect the prevailing use of materials in the area. This is of particular importance in areas where there is clearly established use of particular materials.

#### Road Layout

The layout design of housing areas should restrict the speed of vehicular traffic and seek to create a safe pedestrian environment. Developments of three or more dwellings should be served by a road constructed and designed to an adoptable standard. All new housing developments are required to be traffic calmed.

#### Gardens

Gardens should be designed to provide a good residential amenity and adequate space for domestic activities. Both front and rear gardens should also be sufficiently generous in size to ensure that householders enjoy privacy in their homes. See also Appendix Three.

#### Services

Unless there are exceptional circumstances, the provision of all services including telephone cabling, shall be underground.

### **Landscaping**

A high standard of landscaping and tree planting shall be expected in all new developments with clearly defined maintenance responsibilities. Both the landscaping proposals and the maintenance schedules will be subject to scrutiny by the Council's Community Services Department.

### **Boundary Treatment**

Encouragement shall be given to co-ordinated frontage and boundary treatment, particularly along main road corridors, in residential and industrial areas and screen or boundary planting at key locations.

### **Daylighting and Privacy**

The Council will ensure that appropriate levels of daylighting and privacy are achieved in all new developments and that levels of daylighting and privacy are not compromised within existing properties. A Building Research Establishment (BRE) document - Site Planning for Daylight and Sunlight: A Guide to Good Practice, P J Littlefair 1991, sets out numerical standards to help ensure that enough daylight is achieved in or between buildings for good interior and exterior conditions. If appropriate these standards may be used by the Council in determining the effect on daylighting.

### **Density**

Dwelling density is a principal determinant of the quality of life in new developments. It is not possible to adopt a single approach to the question of density since there are many variables involved. Density should be directly related to adjacent residential development of a similar character, and allow for the principle of expandability.

### **Roads and Parking**

- The Council will seek to uphold the standards set out in Strathclyde Regional Council's 'Guideline for Development Roads and chapter 6 of the 'Roads Development Guide 1995'
- The Council favours pedestrian orientated residential layouts incorporating novel roads or pedestrian/vehicular segregation
- Every house, other than small terraced units of no more than 2 bedrooms, should have space for a minimum of 2 car parking spaces within the feu at least one of which should be behind the building line to minimise intrusive frontage parking
- Where housing density is high, public off-street parking will be required
- Flatted developments should have 150% parking provision minimum. Parking requirements may be increased if part of the provision is proposed to be in the form of lock up garages.

### **Private Gardens**

Each house feu should have an area of private garden ground commensurate with the living needs of its likely inhabitants. The minimum standards for detached and semi-detached dwellings are set out below:

- Each plot shall have a front garden depth of 6 metres
- Each plot shall have a rear garden depth of 10 metres
- For plots of total area up to 300 square metres the rear garden area should be a minimum of 70 square metres and overall the garden shall make up at least 60% of the site
- For plots of total area above 300 square metres the rear garden area should be a minimum of 100 square metres and overall the garden shall make up at least 70% of the site

Note there may be some reduction in these standards for terraced dwellings.

- Detached dwellings should incorporate: The setting of detached dwellings within a plot shall include a total distance of 5 metres around the house. In accordance with Council Policy the minimum distance to either side boundary will be 2 metres.
- Semi detached and terraced dwellings should incorporate: A minimum distance between the dwelling and the boundary will be 3 metres.
- Flatted Developments, nursing homes and sheltered housing complexes should have: 20 square metres of garden space per bedroom.
- All flatted developments should have sizeable provision of open space in order to have amenity and drying green areas. Whilst higher densities in flatted developments may be permitted, this will not be an excuse to reduce amenity space to unacceptably low levels. See Appendix Three for illustrations of the above.

### **Public Open Space**

Within each development public open space should be provided at the appropriate level:

- Small developments (less than 30 dwellings): No minimum standard play space requirement or requirement for play area but casual or informal play space should be provided at the discretion of the Council.
- Medium developments (30 - 99 dwellings): Total minimum play space of 1500 square metres with at least 500 square metres to be equipped play space.
- Large Developments (100 to 199 dwellings): Total minimum play space 3500 square metres with at least 1000 square metres to be equipped play space.
- Major developments (over 200 dwellings): Total minimum play space 6000 square metres with at least 2000 square metres to be equipped play space.

Prior to the submission of residential proposal applicants should contact the Play Services Manager and consider the following when preparing active play areas and providing open spaces within new residential areas (see below). All aspects of the play area should conform to the appropriate safety standards currently contained within BS EN 1176 and BS EN 1177.

- Location and Accessibility Play areas should be located towards the centre of the housing development on the main pedestrian desire routes. Appropriate locations will represent a balance between accessibility, impact on adjacent dwellings and the surveillance/ overlooking of the play area itself. Play areas should also be located away from major access or distributor roads, watercourses with steep embankments and overhead service installations.
- Specific needs Play areas should provide an attractive range of facilities in order to encourage their continued use. In this respect play equipment should provide for an imaginative range of play activities, e.g.:

- Swinging
- Sliding
- Climbing
- Balancing
- Rocking

Consideration should also be given to the needs and requirements of the 11-15 year old age group and parents accompanying children.

All play areas are required to be dog proof and should be designed with fencing and a dog grid or outward opening, self-closing gate.

Any equipped play areas will be assessed by the Community Services Department. Contact the Play Services Manager for further information. Tel. (0141) 304 1800

### **Landscape Setting**

Developers are advised to consult the Scottish Office's Planning Advice Note (PAN) 44 'Fitting new houses into the landscape'. This provides advice on good practice, including design principles for larger developments on the edge of built up areas. The aims are to assist achieving residential developments which are in harmony with their landscape setting and which make a positive contribution to the character of existing settlements.

### **Security and Safety**

Residential layouts should provide a safe and secure environment by ensuring that car parks and footpaths, where possible, are well lit and overlooked by houses. Layout and planting should not create secluded or dark areas. The Council encourages architects and developers to consult and discuss their plans at an early stage with the Strathclyde Police Architectural Liaison Officer in order to be aware of appropriate crime prevention measures which could be included in their development. reference should also be made to PAN 46 - Planning for Crime Prevention.

## APPENDIX 1 DESIGN GUIDANCE 2: HOUSE PLOT DEVELOPMENT

The development of plots should respect the character of the surrounding area and buildings in terms of modelling, elevational proportion and where the sub-division of feus is concerned, architectural detailing.

Any proposal of this nature must satisfy the following criteria:

### THE PLOT(S)

#### Should:

- be sufficiently large and be a reasonable shape that can be developed in a manner in keeping with the area.
- be of a scale in keeping with existing feus in the locality
- have adequate road frontages
- have unshared vehicular access to each plot and
- be capable of development without significant loss of trees

#### Should not:

- deprive an existing house of adequate and reasonable private garden ground; be backland or constitute tandem development; involve a significant loss of trees.

### THE BUILDING(S)

#### Should:

- be of a form and scale appropriate to the existing character and amenity of the area
- generally conform in appearance to that of adjacent buildings
- (in the case of houses) have unshared vehicular access
- include a meaningful area of private (i.e. rear) garden ground, commensurate with the amenity needs of the dwellinghouse in question. Flats should have ample ground for amenity and drying purposes and should have a suitable amount to provide a proper setting for the building
- be built in conformity with local building lines and
- have adequate parking space for at least two cars per dwelling

#### Should not:

- be closer than two metres to a common property boundary; and
- materially infringe on the daylight/sunlight of the adjacent properties.

Reference should also be made to Appendix 2 : Open Space Guidelines : Space Around Dwellings.

## APPENDIX 1 DESIGN GUIDANCE 3: RESIDENTIAL DESIGN STANDARDS

### HOUSE EXTENSIONS AND ALTERATIONS

#### INTRODUCTION

The building of extensions and making other alterations to dwellings should be viewed as adapting and prolonging their life but the effect of any house extension or alteration has on the property, on neighbouring properties and the surrounding area, must be carefully considered. A development that is out of scale or character with its surroundings can spoil the appearance of the whole street. There may therefore be a limit beyond which any property cannot be satisfactorily extended, for example for reasons of privacy, daylighting or character. They should not dominate the existing building or neighbouring properties, or be designed in isolation to fit in a required amount of extra accommodation. The extension should not detract from the appearance of the dwelling or the streetscene. Separate guidance is available on whether or not planning permission to carry out extensions or alterations to dwellings in the form of a series of leaflets entitled "Housebuilder Permitted Developments".

#### GENERAL PRINCIPLES APPLICABLE TO ALL PROPOSALS

All planning applications for extensions will be judged against the following general principles:

- Scale, form and massing
- Detailed design and use of materials
- Boundary treatment
- Impact on usable garden space, privacy and daylighting

#### GENERAL PRINCIPLES

##### Design and Materials

Extensions and other alterations to dwellings should be designed as an integral part of the property.

They should reflect the character of the original building and the building as extended should retain the character of the original. The extension should reflect the design of the dwelling and character of the neighbourhood.

External materials should match in all respects to those on the existing property. The windows and doors in the extension should be aligned with existing windows and doors and should match those of the existing property in size shape and proportion.

##### Usable Private Garden Space

Extending over a large area of the garden, particularly the usable private garden space, can result in overdevelopment of the site.

Meeting the minimum distance guidelines between windows of rooms (see the following section on privacy and overlooking) will ensure at least minimum standards of protection of garden ground.

Usable garden space will be taken as land that is under the exclusive control of the applicant and within the curtilage of the dwelling house. It only includes ground that has been adequately screened, usually to the rear and side of the property, and excludes the driveway. Front gardens are rarely private as they are seen as and operate as a semi public part of the street. Original usable space means the usable space available before the erection of any extensions, garages.

##### Privacy and Overlooking

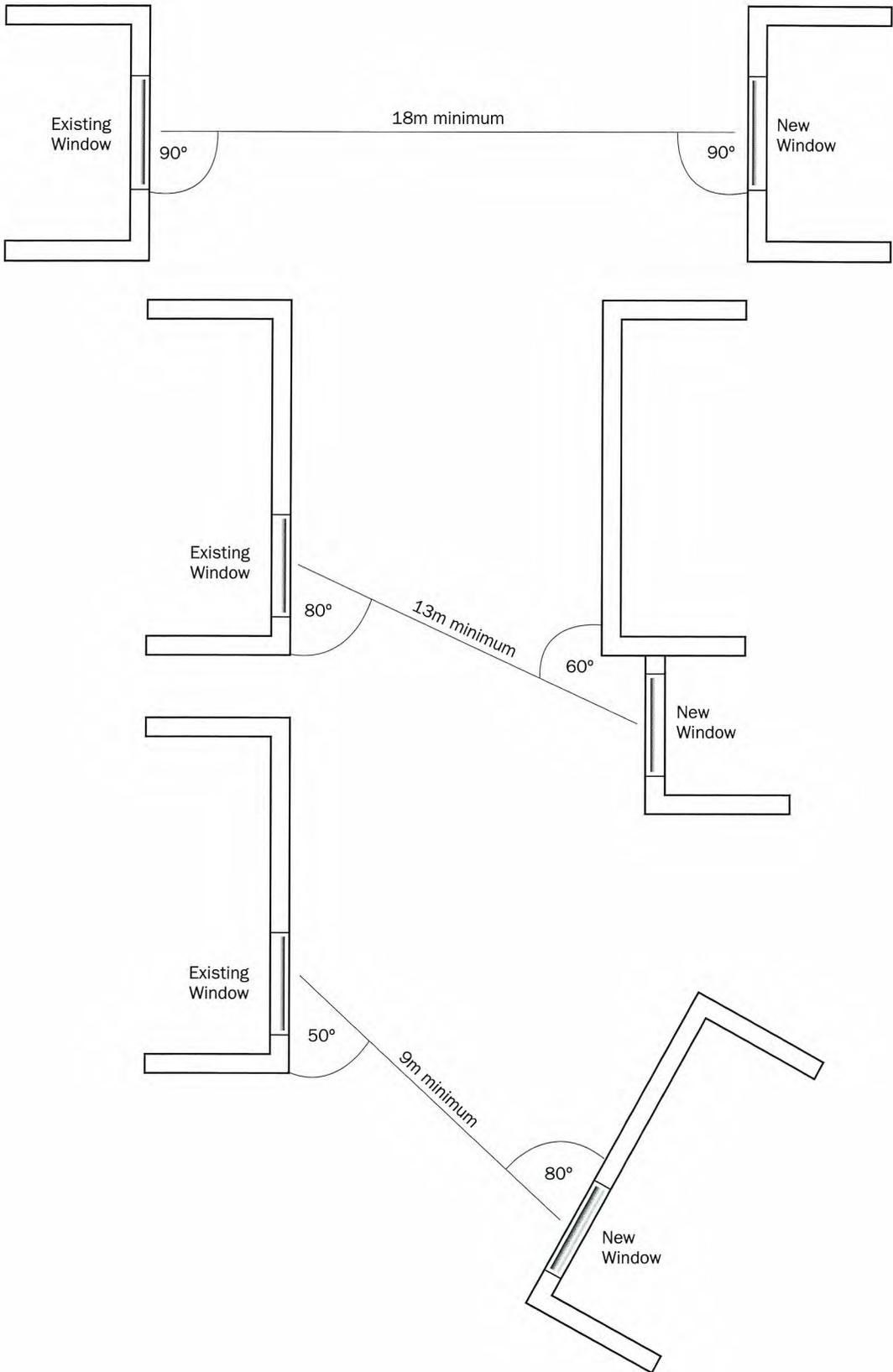
Householders can reasonably expect to enjoy a level of privacy in their homes and not be overlooked directly in their homes by the windows of habitable rooms, kitchens and balconies of other properties. To ensure that reasonable standards of privacy will be maintained, minimum distances will be set for windows that face adjoining properties. The minimum acceptable distances between windows of rooms that are directly facing each other will be 18 metres. In the exercise of its development control functions the Council will seek to ensure that good standards of daylighting,

sunlighting and privacy are established and maintained in and around residential development.

The proposed development should conform generally to the guidelines for intervisibility of windows between adjacent residential properties, as shown in the table below and illustrated overleaf. Each set of circumstances will be looked at individually to assess the fitness of the relevant guideline distance, which may be reduced or increased as deemed necessary by the Council. The minimum distances do not apply to bathroom windows that usually contain obscured glass or halls and landings.

The minimum window to window distance of 18 metres may be reduced if the windows are at any angle as indicated in Figure 1 on the next pages.

**Figure 1 Examples of minimum window to window distances**



**Table 1 Minimum distance guidelines (in metres) between openings**

Angle (in degrees) at window of any other house not more than:

	90	80	70	60	50	40	30	20	10	0
90	18	18	18	18	13	9	6	4	3	2
80	18	18	18	13	9	6	4	3	2	
70	18	18	13	9	6	4	3	2		
60	18	13	9	6	4	3	2			
50	13	9	6	4	3	2				
40	9	6	4	3	2					
30	6	4	3	2						
20	4	3	2							
10	3	2								
0	2									

Note: Angle means the horizontal angle between 2 windows

The minimum distance may also be reduced for ground floor windows if effective permanent screening is employed, provided the screening itself does not detract from residential amenity.

**Daylighting**

Some building extensions will cast a shadow that may reduce a neighbour’s daylight and can adversely affect their amenity. In terms of daylighting, the effect on all rooms, apart from halls, landings, bathrooms will be considered. To protect the amount of daylight in a neighbour’s rooms, it is advisable to keep extensions as far as possible from the boundary with adjacent properties. It should be noted that the loss of a view or outlook as a result of an extension is not considered to be a material planning consideration.

A Building Research Establishment (BRE) document - Site Planning for Daylight and Sunlight: A Guide to Good Practice, PJ Littlefair 1991, sets out numerical standards to help ensure that enough daylight is achieved in or between buildings for good interior and exterior conditions. These standards will be used by the Council in determining the effect on daylighting.

Permission will normally be refused if a neighbouring property would suffer a significant loss of daylight to any room (with the exception of bathrooms, halls, and landings) from the construction of an extension.

## APPENDIX 1 DESIGN GUIDANCE 4: GUIDANCE ON SPECIFIC TYPES OF DEVELOPMENT

The policies for each of the following development types shall apply in addition to the above policies.

### **Dormers**

The formation of new dormer windows has a major impact on the appearance of a property. To avoid appearing overdominant, a dormer should not in itself form the major part of the upstairs room. It should simply provide extra headroom and daylight. Dormers placed to the rear of the property with rooflights if required to the front may be preferable to front dormers.

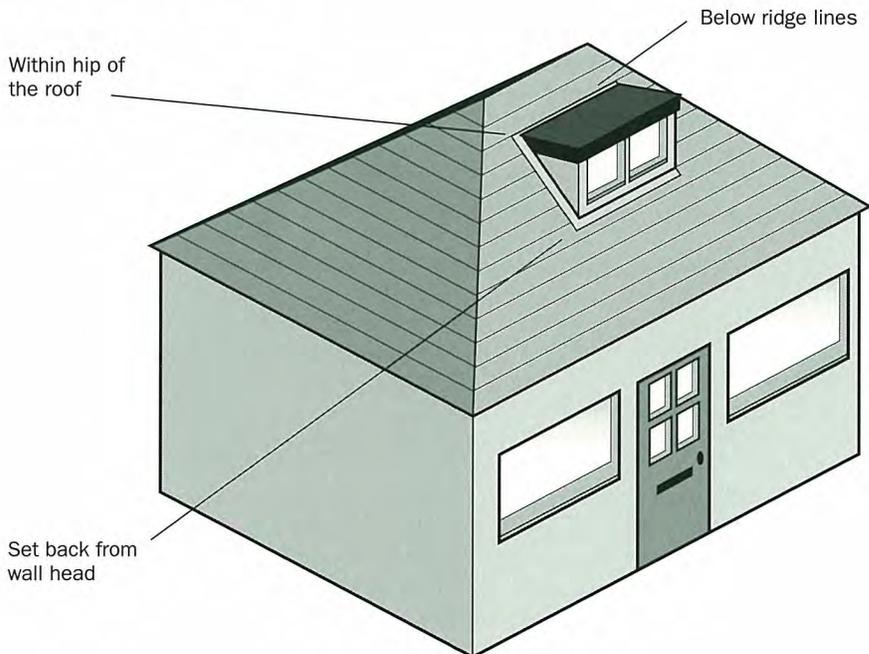
Dormers should not be overdominant in relation to the existing scale of the property and not give the dwellinghouse itself, the appearance of a flat roof.

### **Dormers should:**

- be well below the ridgeline of the roof
- be set back from the wall head
- be physically contained on only one original roof pitch
- relate to windows and doors in the lower storey in terms of character and proportion and alignment
- be finished to match the materials of the existing roof
- have a front face that is predominantly glazed
- not extend right up to the gable end
- not extend the full width of the roof (two small dormers on the same elevation would be preferable to one large dormer)

Permission for dormers on the side of hipped roofs will only be granted where they comply with the relevant parts of the above policy and do not detract from the residential amenity of neighbouring properties as a result of overlooking.

**Figure 1 Dormer window**



### **Porches**

Porches should be of a size, scale and design compatible with the existing house, neighbouring properties and the street scene.

#### **Front porches should not:**

- project more than 1.5 metres from the existing building line
- be aligned vertically and horizontally with the existing door and window openings where possible
- be designed and positioned to be compatible with other porches on a semi-detached or terraced block

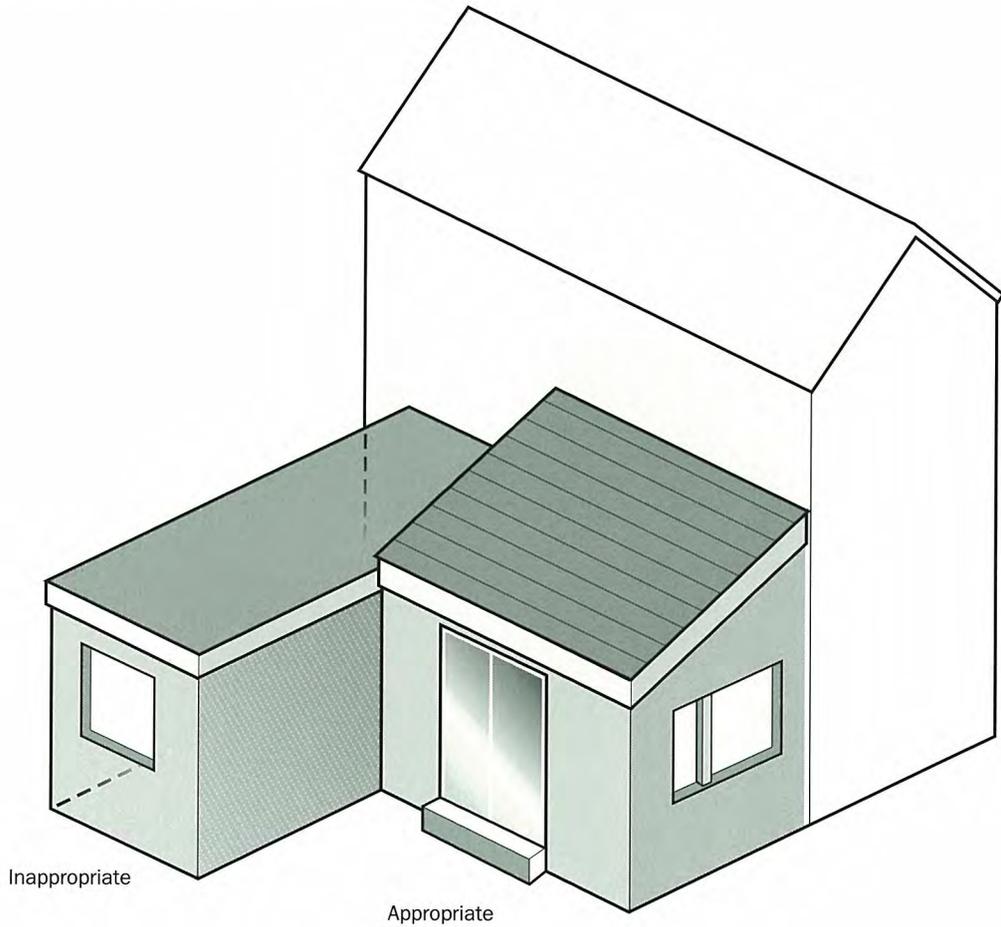
**Figure 2 Porches**



**Single Storey Rear Extensions**

Although single-storey rear extensions have less impact than other types of extension, flat roofed additions can detract from the appearance of the existing building. A flat roof may, in certain circumstances, be acceptable for small single-storey rear extensions or rear porches.

**Figure 3 Single storey rear extensions**



### Single-Storey Side Extensions and Integral Garages

Single-storey side extensions are more prominent than extensions to the rear of properties and ideally should be set back from the front wall of the property. All extensions should have a pitched roof, which could be either mono-pitched or double pitched, as appropriate.

Side extensions that come right up to the front of the house should not protrude in front of the building line. For the purposes of this policy, the building line does not include elements such as the front of any porches, canopies or bay windows.

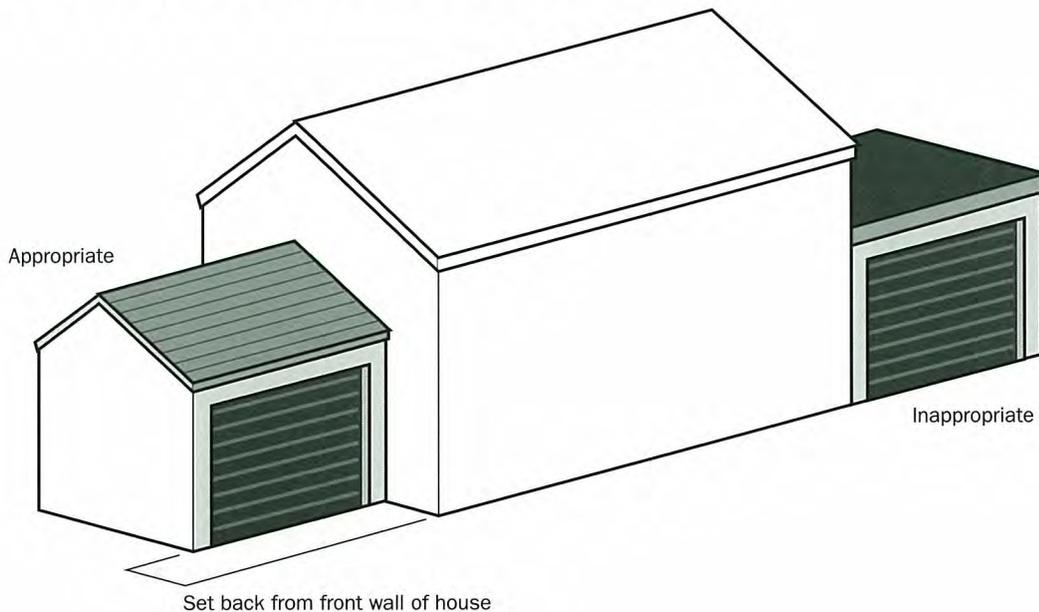
#### Single-storey side extensions should:

- have a pitched roof; and
- preferably be set back from the front of the building line by a minimum of one metre but, at the very least, not protrude in front of the building line

#### Integral Garages should:

- have a pitched roof; and
- be of adequate internal dimensions to allow it to be useable for parking. The minimum internal dimensions shall be 2.8m x 5.0m

**Figure 4 Single storey side extensions and integral garages**



### Conversion of Garages to Living Accommodation

Where there is a restrictive condition the conversion of garages to provide additional living accommodation can result in parking congestion on the street as well as resulting in rooms with little privacy as they look directly on to a driveway. Any application to convert a garage to living accommodation will be discouraged unless alternative garage arrangements are provided within the curtilage of the dwellinghouse.

Where an application is submitted to convert a garage to living accommodation, it will be assessed against:

- the car parking provision for the property
- the overall parking provision in the immediate area
- the details of the external alterations; and
- the possibility of a replacement garage or parking behind the front building of the dwellinghouse

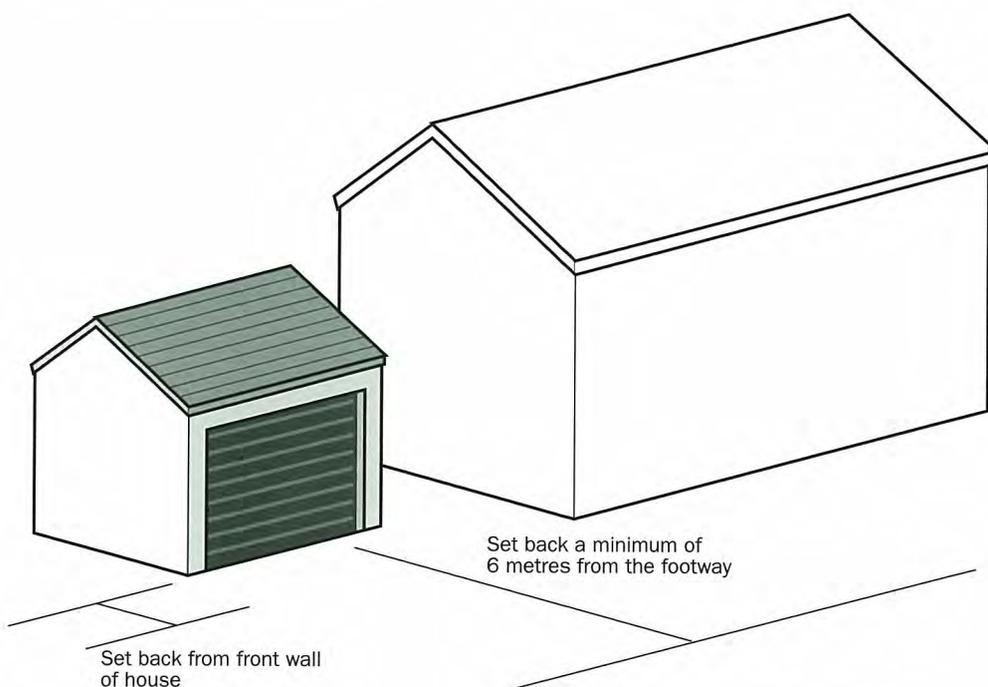
### Free-Standing Garages

A garage should be in a position where it can be accessed safely. It should be set back a minimum of 6.0 metres from the heel of the footway to ensure that any car parked does not overhang the footway. A garage should be of a size, scale and design compatible with a residential area. Garages should have a pitched roof, unless well screened from public view and should not extend beyond the established building line.

#### Domestic Garages should:

- be set back a minimum of 6.0 metres from the heel of the public footway
- be of a size, scale and design compatible with a residential area
- reflect the finishes of the dwellinghouse
- have a pitched roof, unless it is well screened from public view; and
- not extend in front of the established building line

**Figure 5 Free standing garages**



### Two Storey Extensions

Two -storey extensions, in particular, can lead to the creation of a terraced effect on a street frontage and cause overlooking problems and loss of daylight to neighbouring properties. They will therefore be resisted unless they clearly meet all the requirements of policies on privacy, overlooking and daylighting and comply with the general principles stipulated earlier.

To ensure that two-storey side extensions remain subsidiary in appearance to the main house, they should be set back from the front elevation of the existing house and below the main ridgeline. When determining such applications the existence of side extensions on adjoining properties will be taken into account to avoid the creation of a terraced affect.

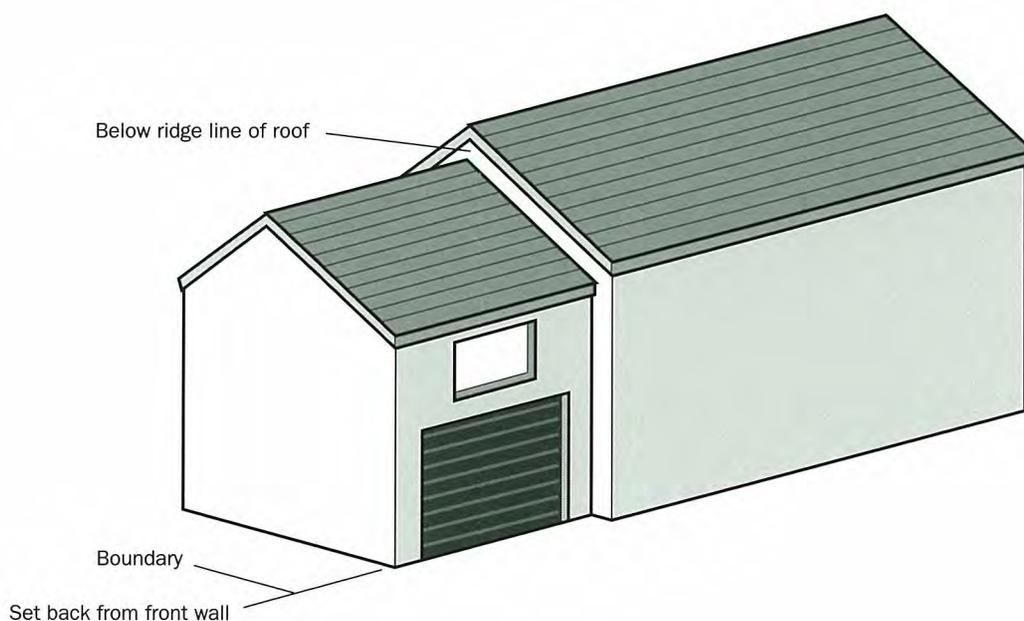
#### Two-storey extensions should:

- be set back a meaningful distance from the front elevation of the existing house
- have a ridge line lower than the ridge of the existing house
- in elevational terms carry through the line of the windows and eaves of the existing house

#### Two-storey extensions should not:

- generally be built to the rear of the house
- unbalance the appearance of the house being extended or block of which it forms part
- have a flat roof

Figure 6 Two storey side extensions



### **Conservatories**

By their nature conservatories can create problems of privacy and overlooking, particularly when erected on terraced or semi-detached properties or to the sides of properties. Only ground floor conservatories are likely to be permitted. On all conservatories, the material to be used on the base course should match the materials on the existing house.

#### **Conservatories should:**

- have base walls in materials to match the house; and
- be at ground floor only and not at the front of a house

### **Balconies, Raised Patios and Sun Decks**

As balconies and sun decks, particularly above ground floor level offer direct panoramic views over adjoining properties and gardens, the residential amenity of neighbours can be adversely affected to a significant degree. Applications will be assessed in terms of privacy and overlooking and will only be considered acceptable where there is no adverse effect on neighbouring properties.

Balconies, raised patios and sun decks will only be granted permission where there is no adverse effect on neighbouring properties by virtue of overlooking.

### **Fences and Walls**

Fences and walls can have a significant effect on the appearance of a property and of the streetscene. They may also have an impact upon visibility and road safety generally. Both the visual and road safety aspects of a wall or fence will be assessed when an application is being considered.

Front gardens are generally seen as a semi-public part of the street. Privacy is therefore less of a consideration and walls and fences should generally not exceed one metre in height.

### **Driveways**

Vehicle driveways should be constructed to the side of dwellinghouses. Parking within front garden areas will only be acceptable if there are overriding reasons in terms of road safety or if the amenity of the building and streetscape is not adversely affected.

**APPENDIX 1  
DESIGN GUIDANCE 5: REPLACEMENT WINDOWS, DOORS  
& RE-ROOFING**

**INTRODUCTION**

Windows, doors and roofs are important in the design of all buildings. A detrimental effect on the appearance of a building can result from ill-considered proposals. Almost all windows, doors and roofs require to be repaired or replaced eventually whether due to wear and tear, lack of maintenance or the need to improve insulation.

Recently there has been a marked increase in the number of replacement windows resulting in many varied styles. Replacement of windows and doors often requires formal consent from the Local Planning Authority and such consent will normally only be given if the replacements conform to the guidelines laid down in this note. Where consent is not required property owners are urged to consider the design of replacements. It should be borne in mind that inappropriate replacements could deter future purchasers of the property.

New regulations brought into effect in 1992 require that where roof covering materials are being altered, planning permission will be required if the change in material would materially affect the external appearance of the dwellinghouse.

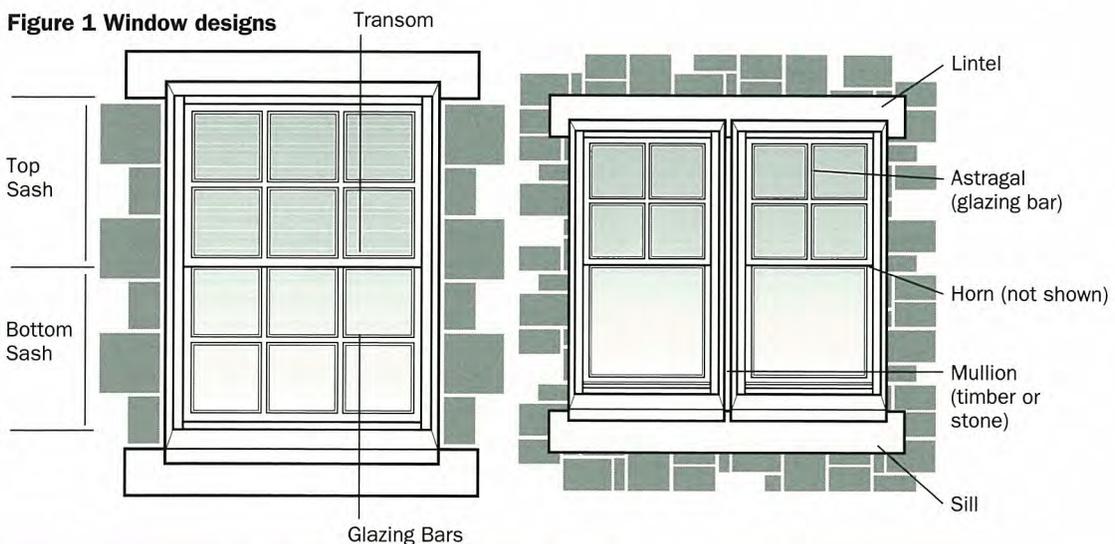
**Windows**

Older buildings in this area generally have vertically sliding sash and casement windows. Each sash may be sub-divided by astragals, the pattern of subdivision varying according to the age and style of the building. The following is a guide on acceptable replacements.

Windows should match or be very similar in appearance to the originals. The opening method should be the same as that of the original. A secondary method of opening for cleaning and maintenance is acceptable. Astragals should be retained and must project forward of the glass. Those sandwiched between double glazing units may be acceptable but are unlikely to be so in Conservation Areas or Listed Buildings. Window frames, subframes and sill should normally be finished in white. Occasionally an alternative colour may be appropriate, but bare aluminium is unlikely ever to be acceptable.

The windows to be replaced may not be originals, they may be replacements themselves or may have been altered by, for example, the removal of astragals. A return to the original style should be carried out if possible. The stone or timber pillars separating windows, grouped in twos or threes, are called mullions and they should not be removed.

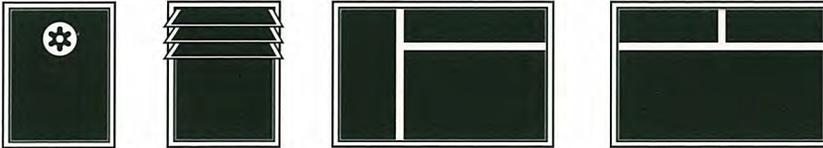
Within Areas of Special Character and on Listed Buildings, air vents should not be installed on the facings of the window frames as these can materially affect the appearance and character of the window.



### Traditional Windows



### Modern Replacement Windows do not match



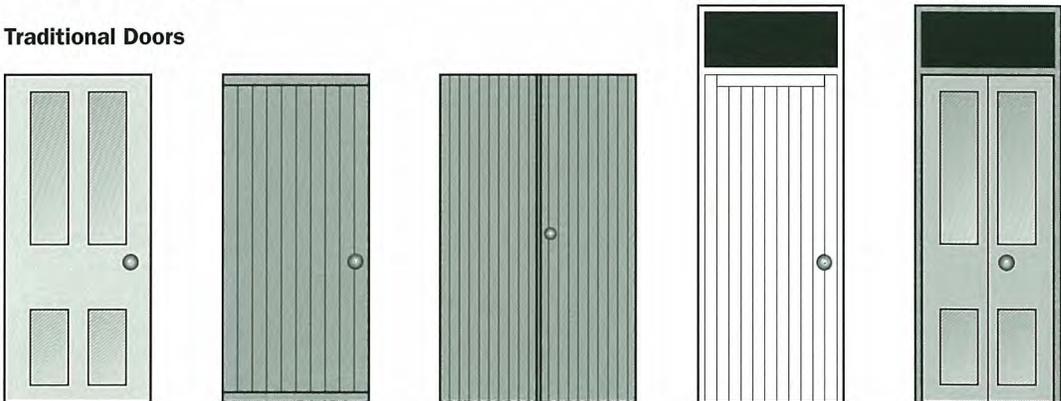
### Doors

The age, style and quality of a property dictate the style of door most suitable. The following is a guide on acceptable replacements.

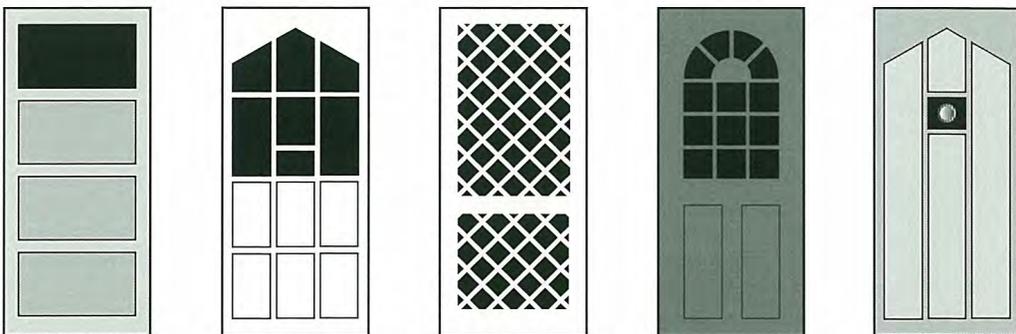
Doors should be replaced in the original style with original fanlight retained. An elaborate door on a simple building should be avoided. Modern doors are usually out of keeping on most older buildings, the original doors having most likely been painted or stained hardwood. Double glazed aluminium or UPVC doors are out of place on older properties and are unlikely to be acceptable.

Figure 2 Door designs

### Traditional Doors



### Modern Replacement Doors do not match



### Re-roofing

Planning permission is required where any roofing material used would materially affect the external appearance of the property. Permission may therefore be required for a change in the colour of the roofing material, e.g. from grey to red; or from a change in the profile of the roofing material, e.g. from slate to a profiled tile. Generally speaking it is preferable to match the original roofing materials when re-roofing a property. Advice on whether the re-roofing of a property requires planning permission can be sought from the Planning and Environment Department.

## APPENDIX 1

# DESIGN GUIDANCE 6: SHOPFRONTS

### INTRODUCTION

This guidance has been prepared because the Council wishes to see the visual character of the shopping areas maintained and enhanced. The term shopfront has been used as a short hand but also applies to offices, banks, restaurants and other units occupying locations in shopping parades.

Shopfronts have the potential to form a dominant visual element in the townscape and therefore, it is felt that detailed advice on this aspect of urban design can make an important contribution to the character of the Northern Corridor Area.

This Guidance Note provides the basis on which applications will be considered and should be seen as providing an overall framework to assist the applicant in making a positive contribution to the character of the shopping areas. The aim of the Guide is to provide a set of flexible rules, but not imposing constraints on those wishing to produce creative designs.

The Council encourages architects and developers to consult and discuss their plans at an early stage with the Strathclyde Police Architectural Liaison Officer in order to be aware of appropriate crime prevention measures which could be included in their development.

Advertising on shopfronts is covered in detail in a later section. Reference should be made to this when erecting or altering shopfront fascia signs and advertisements.

### SHOPFRONT DESIGN

#### Shopfront

Before opting to make a change to any shopfront the applicant should consider the quality and character of the existing shopfront and the contribution it makes to the frontage. The Council will seek to retain shopfronts of character and features original to the building. The shopfront is the area from ground level to the top of the fascia and includes the pilasters or the side wall of the structure.

#### Fascia

It is important for the building as a whole that the original fascia level should be retained or reinstated. Where the original fascia has been covered over or altered, a return to the original dimensions is essential.

#### Pilasters

In rows of shops, there is often a division between each shopfront, which may look like a column and is known as pilaster. It may be a sturdy stone-built pillar, but on the other hand, it may only be a slender piece of timber, depending on the design of the building. A pilaster helps to separate the design of individual shopfronts from each other, giving each a separate identity. Therefore, shopfronts may be built up to a pilaster but not over it.

**Figure 1 Shopfront design**



**Stallrisers**

Stallrisers are useful from a practical as well as a design point of view. Not only do stallrisers keep glass windows and internal window displays above pavement level and free from the danger of accidental kicks and knocks, but they also help contribute to the proper proportions of shop fronts.

**Door position**

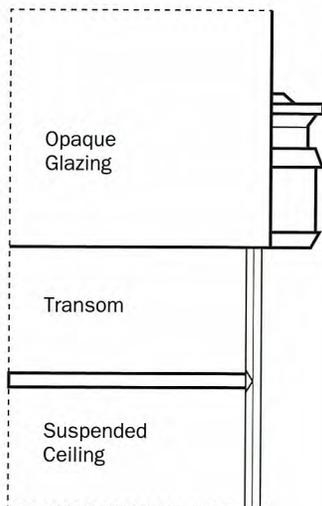
Door position is important, depending on the character of the street. If the door position in a row of shops is to the side, then a centrally placed door would be out-of-keeping with the street scene.

**False ceilings**

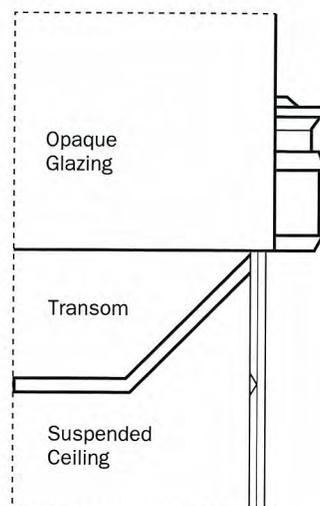
For a variety of reasons, it is sometimes necessary to install a suspended ceiling that can give rise to problems where it meets the shopfront. However, false ceilings can be raked/angled to meet the original ceiling adjacent to the shopfront to avoid this problem.

**Figure 2 Alternative false ceiling arrangements**

a) section through shopfront showing suspended ceiling concealed by transom



a) section through shopfront showing suspended ceiling raked / angled at window



### Materials

A great variety of materials and textures are available. Care should be taken in the selection of materials for shopfronts and investigations should be made into the alternatives available. Materials should be in keeping with the style and colour of the building on which they are to be mounted. It may be appropriate to use new materials where they are sympathetic to the character of the area. Timber shop fronts are preferred in the Conservation Areas and Special Character Areas.

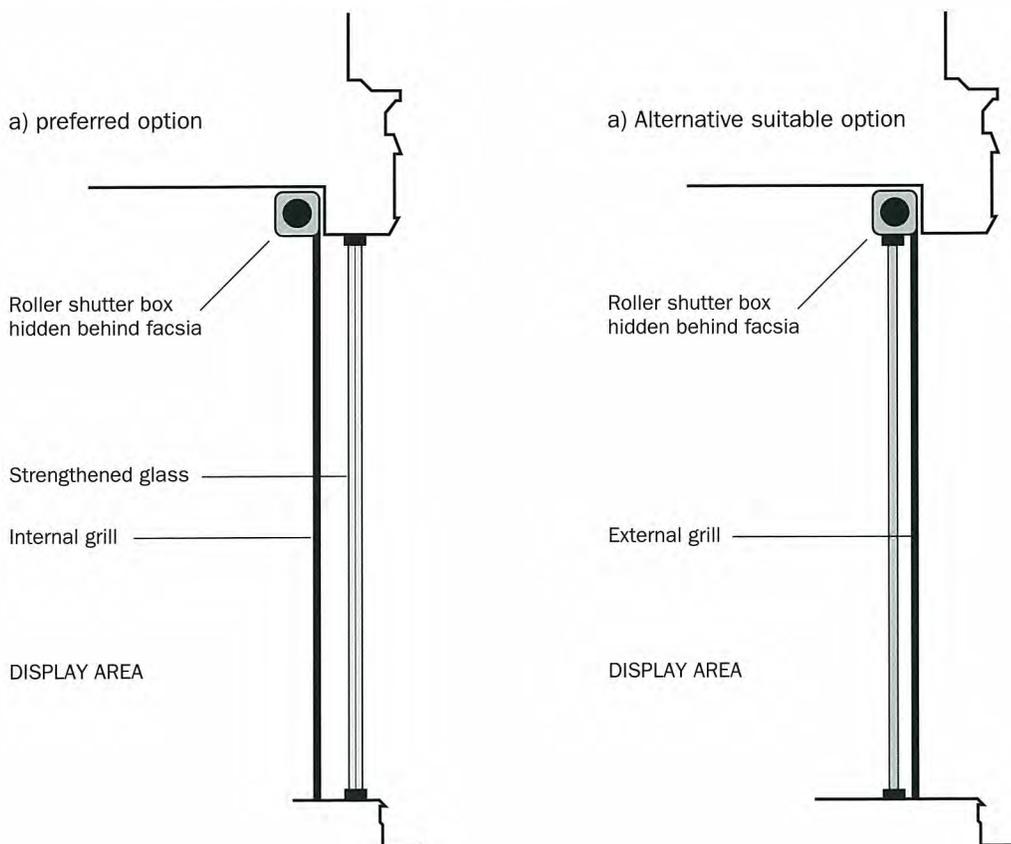
### SHOP SECURITY

The Council recognises that shop security is essential but also wishes to encourage out-of-hours window shopping by the retention of open frontages and interesting displays. Where extra security is found to be essential then further measures may be considered according to the following guidelines.

The preference is for the grille-type roller shutter or other blinds to be mounted internally between windows and displays. If internal arrangements do not allow for this, external detachable grille-type shutters are preferred or alternatively grille-type roller shutters will be considered. Roller shutter boxes should be concealed behind the fascia. Externally stored roller shutters are unlikely to be acceptable. All shutters should be suitably painted, particularly within Areas of Special Character.

Where good quality storm doors have been retained then these should be used in preference to metal shutters.

**Figure 3 Alternative roller shutter arrangements**



## APPENDIX 1 DESIGN GUIDANCE 7: SATELLITE ANTENNAE & TERRESTRIAL MICROWAVE ANTENNAE

### INTRODUCTION

The Council recognises that modern television reception and telecommunications requires such apparatus, but its uncontrolled proliferation, particularly in high amenity residential neighbourhoods, including Areas of Special Character would be very detrimental to visual amenity. Whilst each planning application will be dealt with on its own merits, it is incumbent upon the Council as Planning Authority to establish a broad basis of control over where and what kind of apparatus will and will not be permitted in the public interest.

Planning permission will normally be granted if the guidelines in the section below are followed. Occasionally, it may be necessary to limit the duration of planning permission if the antenna dish is to be installed conspicuously.

### CURRENT LEGISLATION

#### **Dwelling Houses (not including flats)**

Under the Town and Country Planning (General Permitted Development) (Scotland) Order, 1992, a satellite antenna (but not a terrestrial microwave antenna) erected on a dwellinghouse or within the curtilage of a dwellinghouse is “permitted development” and does NOT require planning permission as long as:

- there is only one dish per house
- the maximum dimension does not exceed 90cm, including supporting structure but excluding the projecting feed element
- the highest part of the antenna does not project above the highest part of the roof on which it would be installed
- if within a Conservation Area, the antenna does not project beyond the forwardmost wall of the dwellinghouse, fronting onto a road and
- so far as is practicable, the antenna shall be sited to minimise its effect on the building or structure on which it is installed

#### **Other Buildings (e.g. flats or commercial premises)**

Under the Town and Country Planning (General Permitted Development) (Scotland) Order 1992, satellite and terrestrial microwave antennae are “permitted development” on buildings other than dwellinghouses and DO NOT require planning permission as long as:

- there are no more than two dishes
- the site is not within a Conservation Area
- a satellite antenna dish does not exceed 90cms in any dimensions, including the supporting structure but excluding the projecting feed element
- a terrestrial microwave antenna dish must not exceed 1.3 metres in any dimension
- the overall height of a terrestrial microwave antenna dish and support adds no more than 3 metres to the overall height of the building and
- so far as is practicable, the antenna shall be sited to minimise its effect on the building or structure on which it is installed

When the antenna is no longer needed for reception, it shall be removed from the building.

N.B. Although no planning permission is required in the above mentioned cases, great care should be exercised in siting the apparatus. Ideally, the advice given in the following sections should be followed.

**Where planning permission is required**

If a proposal does not fall within one of the above "permitted development" categories, planning permission is required before the apparatus is installed. Applications will be considered according to the following guidelines:

**Dimensions and Colour**

Antennae dishes should:

- a) be no larger than 90 centimetres in diameter; and
- b) wherever possible be in an inconspicuous colour, closely related to the proposed site's surroundings

Antennae mountings should:

- a) be as unobtrusive as possible; and
- b) be of the same colour as the dish

**Siting**

In ALL cases the visual impact on the site and on neighbouring properties and windows will be taken into account. Some form of screening to the east, north and west may be required to reduce the visual impact on neighbours or the public.

**Preferred locations**

Antennae dishes should ideally be located:

- a) to the rear garden ground
- b) to the rear or side walls of a house, extension, garage, shed or outbuilding
- c) on a roof of a garage, single storey house extension, shed or outbuilding; and
- d) on a rear or side pitched roofs

N.B. The Council will require to be convinced that a rear location is impractical before any other location will be considered.

In these cases the dish should:

- a) be largely screened or out of sight from a public place; and
- b) be of a close colour match to the existing building to reduce obtrusiveness

The dish should not:

- a) project beyond the extremities of a wall, if wall mounted; and
- b) project above the ridgeline or forward of any wall if on the roof of a dwellinghouse

The following locations shall be avoided:

- a) a roof where the dish is visible from a public place
- b) a wall of a dwellinghouse or other building facing a road; and
- c) formal garden ground facing a road unless wholly screened from public view

**Figure 1 Examples of suitable locations for the siting of a satellite dish**

**SITING YOUR SATELLITE DISH**

Suggested suitable locations ✓



Generally unsuitable locations ✗



**Source:**  
Scottish Office,  
Planning Guide on the Installation  
of Satellite Television Dishes 1992.

**COMMUNAL RECEPTION**

On any existing building containing more than four residential units, a communal satellite television reception device should be installed rather than individual dishes. In all new residential buildings containing more than four units, developers will be encouraged to provide communal satellite television reception devices.

**AREAS OF SPECIAL CONTROL AND LISTED BUILDINGS**

Antennae will normally only be acceptable where they are effectively screened from public view and the amenity of any Listed Building or Areas of Special Character is not adversely affected. Antennae will not be acceptable where the architectural or historic character of the building or its setting is likely to be adversely affected. Actual fixing to the walls or roof of a listed building will not be acceptable. Both planning permission and Listed Building Consent are required.

**INTRODUCTION**

Advertisements play an important role in our lives, providing information on and an awareness of services and products. To serve this purpose however, advertisements must be prominent. This may be achieved by a variety of methods including the careful selection of sites and the use of size, colours and in some cases methods of illumination of signs themselves. The needs of advertisers can, however, easily conflict with the amenity of a vicinity. In particular, main road frontages such as the A80/M80 are subject to considerable pressure from advertisers, however the commercial advantages of siting within these areas is often at odds with the objectives of enhancing the greenbelt through which sections of the road run.

In order to strike a balance between the conflicting interests of freedoms for advertisers it is considered desirable to set out the policy that is intended to reconcile the tensions which can exist between advertisements and the appearance of surrounding areas.

In addition to this policy, it should be noted that The Town and Country Planning (Control of Advertisements) (Scotland) Regulations 1984 set out which advertisements require express consent and which benefit from deemed consent.

**GENERAL GUIDE ON ADVERTISEMENTS**

On Listed Buildings and within Areas of Special Control

Within Areas of Special Character and on Listed Buildings (Buildings of Special Architectural or Historic Interest) new advertisements must be properly related to the architectural design of the buildings on which they are displayed. Particular attention will be paid to the size of lettering, and dignified styles should be employed with illumination restricted to lettering only. This also applies in the Areas of Special Character.

**Remote Signs for Individual Premises**

Remote signs (not at the site of the business to which the advertisement relates) will generally be opposed.

**Advertisements on Buildings**

In determining applications for consent to display advertisements on buildings, the Council will pay particular attention to design, materials, dimensions, illumination and position of the advertisement together with its impact on the building. The Council will not permit advertisements that would have a detrimental effect on the amenity and character of the street. In the interests of amenity, and in order to avoid clutter, the number of advertisements should be restricted to a minimum. In a town centre, illumination can be attractive at night relieving possible drab surroundings.

**Enforcement**

In the case of unauthorised signs, the Council may use enforcement powers and may secure the removal of unacceptable signs through the powers contained in the Planning Acts and the Regulations. The Act allows the obliteration and removal of placards and posters whilst the regulations include the right to challenge signs which do not require express consent. Prior to the erection of signage, discussion with a Planning Officer is always advisable.

## SHOPS AND OFFICES

### Location

In general terms, advertisements on commercial premises should be restricted to the fascia area of those premises having fascia displays. Only one projecting sign per commercial frontage will generally be allowed

### Scale and Design

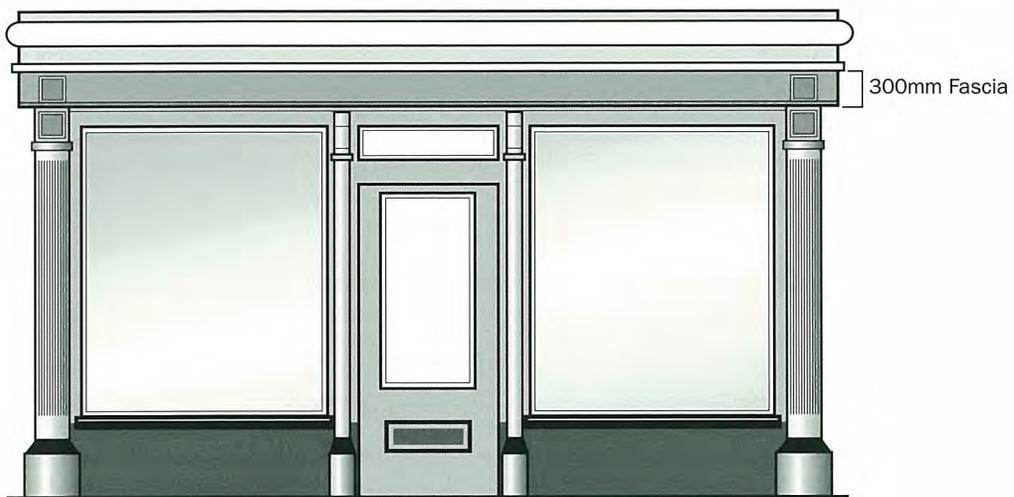
The size of any advertisement should be related to the scale and form of the building on which it is displayed. The depth of any fascia should either be made to fit the original space designed for it or where no such space exists, the depth should not exceed 700mm or one half of the vertical size between the top of the shopfront and the sill of the first floor window, whichever is the smaller.

Lettering should generally be restricted to 300mm unless on a large scale building. Signs consisting of painted letters or individually fixed letters on a plain background are generally preferable to shiny acrylic panels, allowing scope for variety, individuality and character and may be a requirement in Areas of Special Character.

The display of large projecting signs and advertisements on walls, forecourt walls and fences are discouraged. With regard to projecting box signs, these should not detract from the appearance of the building and should be no more than 600mm deep or the depth of the fascia, whichever is the smaller, and should not normally exceed 600mm x 600mm in dimension.

### Figure 2 Shopfront advertisement

Appropriate



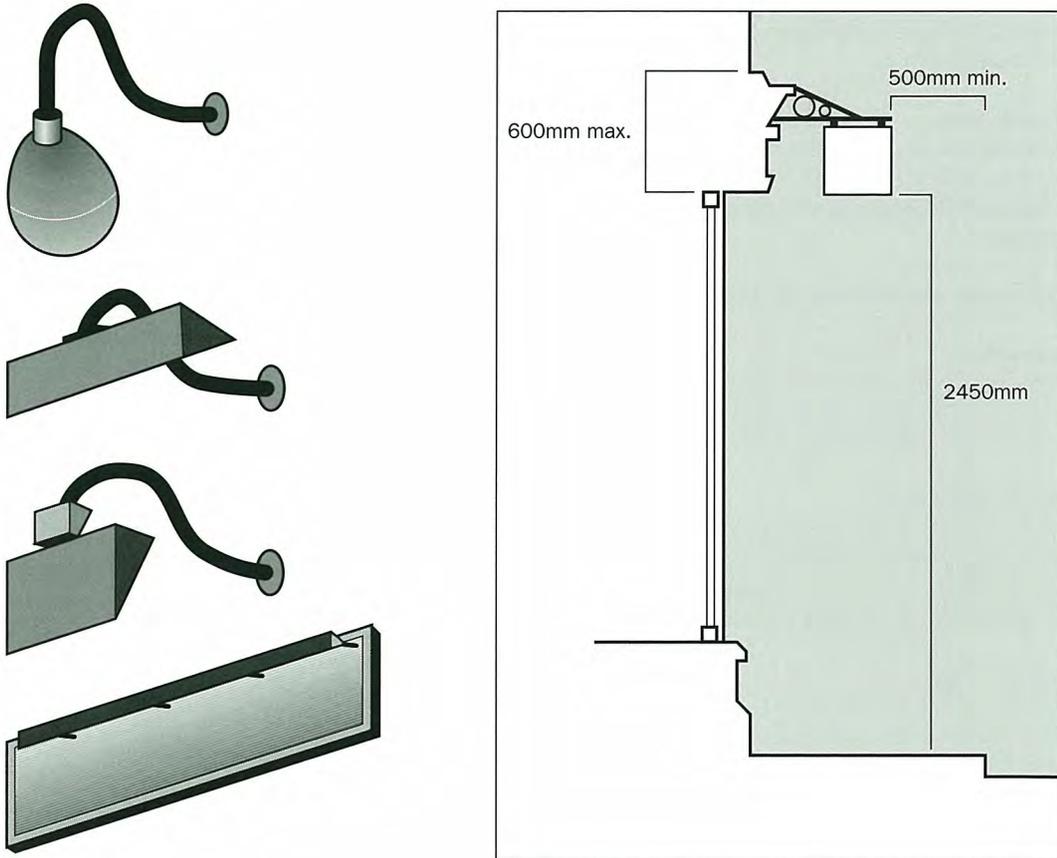
Inappropriate



## ILLUMINATION

Preference will be given to signs with individual internally illuminated letters and fascias illuminated by down lighters or trough lighting as well projecting signs with down lighters. Illuminated advertisements should not normally be located above first floor level except where it can be demonstrated that the position proposed is essential in relation to the function of the building. Illuminated signs must not resemble or be erected in close proximity to official highway signs or traffic lights.

**Figure 3 Illumination**



## **HOTELS, PUBLIC HOUSES AND RESTAURANTS**

### **Location**

Generally, a greater amount of display is appropriate due to dependence on passing trade, although stricter control will be necessary where they relate to listed buildings or are located in Areas of Special Character. One projecting sign on the main frontage is the preferred arrangement, with any further signs being wall mounted. Where the building is set back, consideration will be given to a free standing sign and directional signs within the curtilage. In general the use of standard signs for specific products should be avoided.

### **Scale and Design**

Scale should be carefully related to that of the building and should not mask architectural features. Encouragement will be given to the use of individual designed signs in preference to standard "company" signs.

### **Illumination**

Illumination of signs is acceptable for these types of uses. External illumination of fascia, projecting or free standing pole mounted signs are preferable to internally illuminated box signs. In some instances floodlighting may be appropriate and applicants should contact the Planning Office on this matter.

## **GARAGES AND PETROL FILLING STATIONS**

### **Location**

The appropriate levels of display will normally comprise of a pole mounted sign or identity sign on the forecourt, either on the fascia of the building or on the canopy. It has become usual to allow a further sign affixed to the pole mounted sign to display price or special offers.

### **Scale and Design**

There has been considerable rationalising by the large petrol companies, and this has been a generally satisfactory trend. However, proliferation of associated uses such as car washes and general shops, could lead to pressure for a greater amount of advertising. This will only be allowed where the overall level of advertising is not excessive.

### **Illumination**

While it may be appropriate for the pole mounted sign, and the company name and logo to be illuminated, additional illumination, of the entire canopy fascia in particular, is considered excessive and may not be allowed in sensitive locations such as residential areas, adjacent to Listed Buildings and within Areas of Special Character.

## **INDUSTRIAL BUILDINGS**

### **Locations**

Advertisements identifying businesses or their products should generally be confined to the walls of the building, although free standing signs may be allowed where there are large yards or forecourts.

### **Scale and Design**

Generally, the scale of signs and lettering should not be excessive in relation to the size of the building.

### **Illumination**

Illumination of advertisements may be appropriate for the identification of individual properties within an industrial area, but not be of a level that would cause nuisance to neighbouring residential areas.

## **HOARDINGS AND DISPLAY PANELS**

### **Location**

These signs should be confined to small gap sites in urban areas, particularly those of a temporary nature, where it is proposed that a new building is to be erected. There will be a presumption against new hoardings in rural areas, predominantly residential areas, open areas within the urban area and on or beside Listed Buildings.

### **Scale and Design**

The scale and design of a hoarding should be related to the size and layout of the site. Where a gap site is involved a generous landscaping treatment should be incorporated. If free standing, it should be integrated into the framework of a wall, fence or purpose designed structure.

### **Illumination**

In areas where hoardings may be allowed there will normally be adequate levels of street lighting and further illumination is considered inappropriate.

## APPENDIX 2 OPEN SPACE GUIDELINES: SPACE AROUND DWELLINGS

### MINIMUM SPACE STANDARDS

#### Space Around Dwellings

Each plot should provide:

- A minimum front garden depth of 6 metres
- A minimum rear garden depth of 10 metres
- A minimum rear garden area of 70 square metres for plots up to 300 square metres total area
- A minimum rear garden area of 100 square metres for plots over 300 square metres total area
- In plots of up to 300 square metres the garden area must take up at least 60% of the site
- In plots of over 300 square metres the garden area must take up at least 70% of the site.

The above standards are to apply to all detached and semi detached dwellings with a possible reduction for terraced dwellings.

Detached dwellings should have:

- A minimum side garden width of 5 metres to be provided on the basis of 2.5 metres either side of alternative side distances of 2 and 3 metres.
- An overall minimum side garden width of 4 metres may be provided where the dwellinghouse has an integral garage and the minimum distance between the side walls of the adjacent dwellinghouses is 4 metres.

Semi detached and terraced dwellings should have:

- A minimum side width of 3 metres
- The minimum distance between the side walls of adjacent dwellinghouses may be reduced to 4 metres where dwellings have integral garages.
- In any instances where a rear garden backs onto a side garden, the minimum rear garden depth may be reduced.
- With respect to detached, semi-detached and terraced dwellinghouses, planning conditions may be imposed to ensure a minimum distance between dwellinghouses of 4 metres.

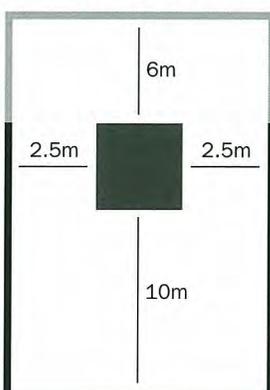
Flatted developments, nursing homes and sheltered housing complexes should have:

- 20 square metres garden space per bedroom.

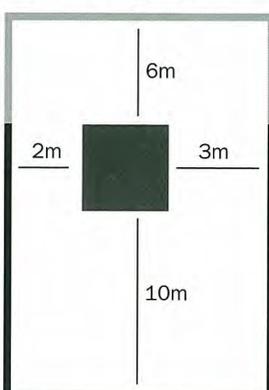
#### Notes for Guidance

- 1. Minor variations of these standards could be acceptable to take account of topographical features, adjacent developments and other requirements of planning consents.**
- 2. These standards may be used as a reference point when considering development of individual plots or infill developments in existing town centres. In such instances please contact the Northern Division Planning Office for further advice on (01236) 616400.**

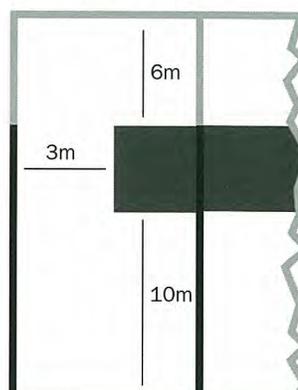
Typical Detached Plot  
(No integral garage)



Typical Detached Plot  
(No integral garage)



Typical Semi Detached and  
End Terraced Plot



## APPENDIX 2

# OPENSOURCE GUIDELINES: ACTIVE PLAY/OPEN SPACE

### DEVELOPER'S GUIDE TO OPEN SPACE

- When submitting proposals for any new housing development consideration should be given to the provision of garden ground and play space.
- The purpose of the Developer's Guide to Open Space is to provide a basic guide to the Council's requirements for these facilities.
- If developers apply these guidelines to residential proposals, this will help the Council reach an early decision on a proposed development.

### MINIMUM SPACE STANDARDS

#### Play Provision: Active Play/Open Space

- **Small Developments (Less than 30 dwellings)**  
No minimum play space requirement or requirements for play area but casual or informal play space should be provided at the discretion of the Council
- **Medium Developments (30 to 99 dwellings)**  
Total minimum play space 1,500 square metres with at least 500 square metres to be equipped play space.
- **Large Developments (100 to 199 dwellings)**  
Total minimum play space 3,500 square metres with at least 1,000 square metres to be equipped play space.
- **Major Developments (Over 200 dwellings)**  
Total minimum play space 6,000 square metres with at least 2,000 square metres to be equipped play space. Prior to the submission of a residential proposal applicants should contact the Plat Services Manager and consider the following when preparing active play areas and providing open space within new residential areas. All aspects of the play area provision should conform to the safety standards contained within BS En 1176 and BS EN 1177.
- **Location and Accessibility**  
Play areas should be located towards the centre of the housing development on the main pedestrian desire routes. Play areas should also be located away from major access or distributor roads, watercourses with steep embankments and overhead services installations. Play facilities should be sited sufficiently distant from housing to prevent nuisance (15 metres minimum from plot boundaries is recommended) but close enough to allow for passive supervision.
- **Specific Needs**  
Play areas should provide an attractive range of facilities in order to encourage their continued reuse. In this respect play equipment should provide for a range of play activities e.g. Swinging, Sliding, Climbing, Balancing, Rocking, Manipulative, Imaginative

Consideration should also be given to the needs and requirements of the 11 to 15 year old age group and parents accompanying children to play area. All play areas are required to be dog proof and should be designed with fencing and a dog grid or outward opening, self-closing gate.

#### Notes for Guidance

1. Any equipped play areas will be assessed by the Department of Community Services. Contact the Play Services Manager for further information (0141) 304 1800.
2. For further information please contact the Northern Division Planning Office on (01236) 616400.

#### CONTACTS

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Department of Planning & Environment Department  
Northern Division  
Bron Way  
Cumbernauld  
G67 1DZ  
Tel: 01236 616400

Strathclyde Police Architectural Liaison Officer  
'NC' Sub-Division  
Cumbernauld Police Station  
South Muirhead Road  
Cumbernauld  
Tel: 01236 503909

Play Services Manager  
Community Services Department  
Buchanan Business Park  
Steps  
G33 6HR  
Tel: 0141 304 1800



# notes

# notes

contact:

**Stewart McIsaac**

**Department of Planning and Environment**

**tel: (01236) 618128**

